ABBREVIATIONS

EXISTING

EXISTING

EXPOSED

EXTERIOR

FIRE ALARM

FLOOR DRAIN

FOUNDATION

FIRE HOSE

FIRE EXTINGUISHER

FIRE HOSE CABINET

FIRE HOSE STATION

FIRE EXTINGUISHER CABINET

FINISH FLOOR ELEVATION

FLAT BAR

E.I.F.S. EXT. INSUL. FINISH SYSTEM

EXPANDED; EXPANSION

EXIST.

EXP. EXPO.

EXT.

F.B.

F.D.

FDN.

F.E.

F.E.C.

F.F.E.

F.H.S.

F.H.

EACH WAY

A.B ABV	ANCHOR BOLT ABOVE	F.H.M.S F.H.W.S	FLAT HEAD MACHINE SCREW FLAT HEAD WOOD SCREW	P.B. P.C.	PARTICLE BOARD PRE-CAST CONCRETE
ACC	ACCESS	FIN.	FINISH	PCF.	POUNDS PER CUBIC FOOT
ACOUS.	ACOUSTICAL	F/F.	FINISH TO FINISH	PERF.	PERFORATED
A.C.P	ASPHALT CONCRETE PAVEMENT	FF.	FACE TO FINISH	PERP.	PERPENDICULAR
ACT A.D.	ACOUSTICAL TILE AREA DRAIN	FL; FLR FLASH.	FLOOR; FLOORING FLASHING	P.GWB. PL.	PAINTED GYPSUM WALL BOA PROPERTY LINE, PLATE
A.D. ADD	ADDITIVE	FLUOR.	FLUORESCENT	P.LAM.	PLASTIC LAMINATE
ADJ.	ADJUSTABLE	F.O.	FACE OF	PLAS.	PLASTER
A.F.F.	ABOVE FINISHED FLOOR	F.O.C.	FACE OF CONCRETE	PLYWD.	PLYWOOD
AGGR. A.H.J.	AGGREGATE AUTHORITY HAVING JURISDICTION	F.O.F.	FACE OF FINISH RNISHED BY OWNER AND	PNL. PR.	PANEL PAIR
A.n.J. A.l.B	AIR & MOISTURE BARRIERS	F.U.I.C. FUR	INSTALLED BY CONTRACTOR	PSF.	POUNDS PER SQUARE FOOT
ALT	ALTERNATE	F.O.I.O.	FURNISHED BY OWNER AND	PSI.	POUNDS PER SQUARE INCH
ALUM.	ALUMINUM		INSTALLED BY OWNER	PT.	POINT
AP.	ACCESS PANEL	F.O.M.	FACE OF MASONRY	P.T.	PRESSURE TREATED
APPROX. ARCH.	APPROXIMATE ARCHITECTURAL	F.O.S. F.O.W.	FACE OF STUDS FACE OF WALL	PTD. P.T.D.	PAINT PAPER TOWEL DISPENSER
ASB.	ASBESTOS	FPRF.	FIREPROOF	PTN.	PARTITION
A.S.L.	ABOVE SEA LEVEL	FRPL.	FIREPLACE	PVC.	POLYVINYL CHOORIDE
ASPH.	ASPHALT	F.R	FRAME	P.WD.	PAINTED WOOD
AUTO.	AUTOMATIC	F.R.T. F.S.	FIRE RETARDANT TREATED FLOOR SINK	Q.T.	QUARRY TILE
BD.	BOARD	FT.	FOOT OR FEET	Q.1. QUAN.	QUANTITY
BITUM.	BITUMINOUS	FTG.	FOOTING	40 7.1111	G 07.111111
BLDG.	BUILDING	FURR.	FURRING	R	RISERS
BLK.	BLOCK	FUT.	FURTINTURE	RA.	RETURN AIR
BLKG. BM.	BLOCKING Beam	FW. F.V.	FULL WIDTH FIELD VARIFY	RAD. RB.	RADIUS RUBBER BASE
B.O.	BOTTOM OF	r.v.	FIELD VARIFT	R.D.	ROOF DRAIN
BOT.	BOTTOM	GA.	GAUGE	REF.	REFERENCE
BSMT.	BASEMENT	GAL.	GALLON	REFR.	REFRIGERATOR
BRG. BUR.	BEARING BUILT UP BOOFING	GALV. G.C.	GALVANIZED CENERAL CONTRACTOR	REINF. REQ.	REINFORCED, REINFORCING
BUR.	BUILT UP ROOFING	G.C. GL.	GENERAL CONTRACTOR GLASS	REQ. RESIL.	REQUIRED RESILIENT
CAB.	CABINET	G.L.B.	GLUE LAM BEAM	REV.	REVISION; REVISED
C.B.	CATCH BASIN	GR.	GRADE	RGTR.	REGISTER
CB.	CHALK BOARD	G.R.	GUARD RAIL	RH.	ROUND-HEAD; RIGHT HAND
CC. CEM.	CENTER TO CENTER CEMENT	G.S.B. G.W.B.	GYPSUM SHEATHING BOARD GYPSUM WALL BOARD	RM. R.O.	ROOM ROUGH OPENING
CER.	CERAMIC	G.W.B. GYP.	GYPSUM WALL BOARD	R.O. RWL.	RAIN WATER LEADER
CG.	CORNER GUARD	• • • • • • • • • • • • • • • • • • • •			
C.I.	CAST IRON	H.B.	HOSE BIBB	S.	SOUTH
C.I.P.	CAST IN PLACE	H.C.	HOLLOW CORE	S.B.C.	SEATTLE BUILDING CODE
CJ. CLG.	CONTROL JOINT CEILING	H.D.GALV HDR.	HOT DIPPED GALVANIZED HEADER	S.CONC. SAF.	SCOURED CONCRETE SELF ADHERED FLASHING
CLKG.	CAULKING	HDO.	HIGH DINSITY OVERLAY	SC.	SOLID CORE
CLO.	CLOSET	HDWD.	HARDWOOD	SC.ALUM.	SOILD CORNER ALUMINUM
CLR.	CLEAR	HDWE.	HARDWARE	SCHED.	SCHEDULE
C.M.U.	CONCRETE MASONRY UNIT	HEM.	HEMLOCK	S.D.	SMOKE DETECTOR
CNTR. COL.	COUNTER COLUMN	H.M. Horiz.	HOLLOW METAL HORIZONTAL	SEC. SECT.	SEALED CONCRETE SECTION
CONC.	CONCRETE	HP.	HIGH POINT	S.G.	SAFETY GLASS
CONN.	CONNECTION	HR.	HOUR	SH;SHLF	SHELF
CONST.	CONSTRUCTION	HT.	HEIGHT	SHR.	SHOWER
CONT. CONTR.	CONTINUOUS CONTRACTOR	HVAC. HW.	HEATING/VENTILATION/AIR CONDITIONING HOT WATER	SHT. Sheath.	SHEET SHEATHING
CORR.	CORRIDOR	H.W.H.	HOT WATER HOT WATER HEATER	SIM.	SIMILAR
C.P.	CONCRETE PAVER			SM.	SHEET METAL
CPT.	CARPET; CARPETED	I.B.C.	INTERNATIONAL BUILDING CODE	SMS.	SHEET METAL SCREW
CPT SQRS. CRS.	CARPET SQUARES COURSE; COURSES	I.D. IN.	INSIDE DIAMETER INCH	S.O.G. SPEC.	SLAB ON GRADE SPECIFICATION
C.S.	CRAWL SPACE	INCL.	INCLUDED; INCLUDING	S.P.M.	SINGLE-PLY MEMBRANE
CTSK.	COUNTERSUNK	INSUL.	INSULATION	SQ.	SQUARE
C.T.	CERAMIC TILE	INT.	INTERIOR	SQ.FT.	SQUARE FEET
CTR. CU.FT.	CENTER CUBIC FEET	INV.	INVERT	SQ.IN. SS.	SQUARE INCH (ES) STAINLESS STEEL
C.V.G.	CLEAR VERTICAL GRAIN	JAN.	JANITOR	ST.	STONE
C.W.C.	CHILLED WATER CABINET	J.B.	JUNCTION BOX	STA.	STATION
		JT.	JOINT	STD.	STANDARD
DDI	DOUBLE	KIT.	VITCUEN	STL. STOR.	STEEL
DBL. DEMO.	DEMOLITION	KII. K.O.	KITCHEN KNOCK-OUT	STRUCT.	STORAGE STRUCTURAL
DTL.,	DET. DETAIL			SUSP.	SUSPENDED
D.F.	DRINKING FOUNTAIN	LAM.	LAMINATE	SYM.	SYMMETRICAL
DIA.	DIAMETER	LAV.	LAVATORY	T. TDD	TDEADO
DIM. DISP.	DIMENSION DISPENSER	L.F. LL.	LINEAL FEET LIVE LOAD	T.; TRD. TB.	TREADS TACK BOARD
DL.	DEAD LOAD	LP.	LOW POINT	T.B.	TOWEL BAR
DN.	DOWN	LOC.	LOCATION	T.C.	TOP OF CURB
D.O.	DOOR OPENING	LT.	LIGHT	TEMP.	TEMPERED
D.P. DR.	DAMPPROOFING DOOR	MAG	MACONDV	T.G. T.&G.	TEMPERED GLASS
DR. DS.	DOWNSPOUT	MAS. MAX.	MASONRY MAXIMUM	T.&G. T/;T.O	TONGUE AND GROOVE TOP OF
D.S.P	DRY STAND PIPE	M.B.	MACHINE BOLT	T.O.S	TOP OF SLAB; TOP OF STEEL
DT.	DRAIN TILE	M.C.	MEDICINE CABINET	T.O.W.	TOP OF WALL
DW.	DISHWASHER	MDO.	MEDIUM DENSITY OVERLAY	TEL.	TELEPHONE
DWG.	DRAWING	MECH. MEMB.	MECHANICAL MEMBRANE	T.P.H. T.S.	TOILET PAPER HOLDER TUBULAR STEEL
E.	EAST	MET.	METAL	TYP.	TYPICAL
EA.	EACH	MEZZ.	MEZZANINE		
EB.	EXPANSION BOLT	METAL	MTL.	U.N.O.	UNLESS NOTED OTHERWISE
E.J.	EXPANSION JOINT	MFR.	MANUFACTURER	U.SK.	UTILITY SINK
EL. ELEV.	ELEVATION ELEVATOR	MH. MIN.	MANHOLE MINIMUM	V.B.	VAPOR BARRIER
ELECT.	ELECTRICAL	MIR.	MIRROR	٧.٥.	THE ON DANNER
EMER.	EMERGENCY	MISC.	MISCELLANEOUS	W.C.	WATER CLOSET
ENCL	ENCLOSURE	MNT.	MOUNTED	WD.	WOOD
E.O. E.P.	EDGE OF ELECTRICAL PANELBOARD	M.O. MTL.	MASONRY OPENING MATERIAL	W/ W/O	WITH WITHOUT
E.P. EQ.	EQUAL	MUL.	MULLION	WP.	WATERPROOF OR
EQUIP.	EQUIPMENT				WATERPROOFING
EST.	ESTIMATE	N.	NORTH	WR	WATER RESISTANT

NUMBER

NOMINAL

OVERALL

OBSCURE

OFFICE

ON CENTER

OVERHEAD

OPENING

OPPOSITE

OPPOSITE HAND

N.I.C.

NO.,#

NOM.

N.T.S.

O.A. OBS. O.C.

O.D.

OFF.

O.H.

OPH.

OPNG.

NR.

NOT APPLICABLE

NOT IN CONTRACT

NOISE REDUCTION

OUTSIDE DIAMETER

NOT TO SCALE

SYMBOLS LEGEND

GRIDLINE PARTITION TYPE

ROOM REFERENCE DOOR REFERENCE

WINDOW/SKYLIGHT REFERENCE $\langle A \rangle \langle A.1 \rangle$ BUILDING SECTION 44.0

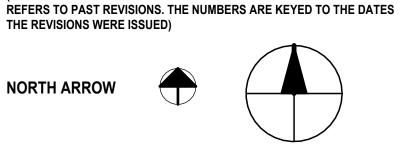
EXTERIOR ELEVATION WALL SECTION REFERENCE **ELEVATION/ DATUM**

INTERIOR ELEVATION

DETAIL REFERENCE |

REVISION REFERENCE 2 (ONLY THE MOST RECENT REVISIONS ARE SHOWN CLOUDED. THE TAG

THE REVISIONS WERE ISSUED)



GENERAL CONDITIONS

WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

1. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICT

2. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE. 3. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE

4. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING AND JACKS REQUIRED FOR INSTALLATION.

5. VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SLEEVING: CAP, MARK, AND PROTECT AS NECESSARY TO COMPLETE THE WORK.

6. ALL WOOD IN CONTACT WITH CONCRETE IS PRESSURE TREATED.

7. PROVIDE AS-BUILT PLAN OF ALL UTILITY LOCATIONS.

8. SERVICE WATER PIPES IN UNHEATED SPACES TO BE INSULATED.

APPLICABLE CODES

ALL WORK SHALL CONFORM TO: 2021 INTERNATIONAL BUILDING CODE (IBC)

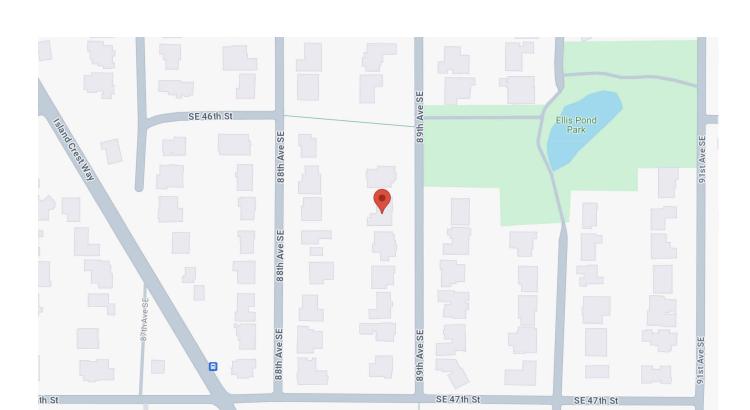
WAINSCOT

WSCT.

- 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2021 UNIFORM PLUMBING CODE (UPC) 2021 INTERNATIONAL FIRE CODE (IFC)
- 2021 INTERNATIONAL EXISTING BUILDING CODE 2021 INTERNATIONAL SWIMMING POOL AND SPA CODE
- 2021 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
- WASHINGTON STATE ENERGY CODE (WSEC) WASHINGTON CITIES ELECTRICAL CODE (WCEC) ICC/ANSI A117.1-17, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH
- STATEWIDE AND CITY AMENDMENTS ALL CODES, AS MODIFIED BY LOCAL JURISDICTIONS AND ALL OTHER GOVERNING LAWS, CODES, ORDINANCES AND REGULATIONS

CITY OF MERCER ISLAND ZONING: -SINGLE FAMILY R-9.6

VICINITY MAP



AERIAL VIEW



NTS

PROJECT DESCRIPTION

THE SCOPE OF WORK INCLUDES ADDING AN ACCESSORY STRUCTURE TO THE BACKYARD AND REMODELING THE MAIN HOUSE EAVES AND DRIVEWAY.

PROJECT DIRECTORY

<u>OWNER</u> TERRY PEPPLE LISA PEPPLE

GENERAL CONTRACTOR

EMAIL: EPISOEN@GMAIL.COM

PROJECT ADDRESS 4617 89TH AVE SE

MERCER ISLAND, WA 98040

STRUCTURAL ENGINEER
JOHN AND EVAN APOLIS CONSULTING STRUCTURAL ENGINEERING SERVICES 6311 17TH AVE NE SEATTLE, WA 98115 P: (206) 527-1288 CONTÁCT: EVAN APOLIS

LOCAL JURISDICTION
CITY OF MERCER ISLAND 9611 SE 36TH STREET

MERCER ISLAND, WA 98040 P: (206) 275-7605 EMAIL: EPERMITTECH@MERCERISLAND.GOV

APPLICANT / ARCHITECT SUZANNE ZAHR INC.,

2441 76TH AVE SE, SUITE 160 MERCER ISLAND, WA 98040 P: (206) 354-1567 CONTÁCT: SUZANNE ZAHR EMAIL: INFO@SUZANNEZAHR.COM PARCEL NUMBER: 019110-0655

LEGAL DISCRIPTION: ALLVIEW HEIGHTS ADD LESS S 3 FT PLAT BLOCK: PLAT LOT:

DRAWING INDEX

SHEET#	SHEET NAME
A0.0	COVERSHEET
A0.1	GENERAL NOTES
SURVEY	SURVEY
A1.0	SITE PLAN - DEMO
A1.1	SITE PLAN - PROPOSED
A2.1	ACCESSORY STRUCTURE FLOOR PLAN
A4.0	BUILDING ELEVATIONS
A5.0	MANUFACTURER DRAWINGS #1
A5.1	MANUFACTURER DRAWINGS #2

SUZANNE ZAHR INC.

2441 SE 76TH AVE, SUITE 160 MERCER ISLAND, WASHINGTON 98040 T. 206 354 1567 WWW.SUZANNEZAHR.COM

SIDENC SOR **P**

Ö

89TH AVE SE CER ISLAND, WA

PROJECT NUMBER 23004

REGISTERED ARCHITECT SUZANNE ZAHR STATE OF WASHINGTON

ISSUED / REVISIONS DATE

ISSUE DATE: 05.14.24 DRAWN BY: CHECKED BY:

COVERSHEET

SHEET NUMBER

A0.0

2. THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MIGHT NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETED AND APPROPRIATELY OPERABLE. FURNISH AND INSTALL ALL SPECIFIED AND APPROPRIATE ITEMS, AND ALL INCIDENTAL, ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED PROJECT.

3. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

4. IT IS INTENDED THAT THE CONTRACTOR PROVIDE COMPLETE CONSTRUCTION AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY SCOPE OF WORK EXCEPT FOR THE ITEMS SPECIFICALLY NOTED.

5. SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE NOT TO BE, FOR WHATEVER REASONS, UNENFORCEABLE, SUCH UNENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.

6. THROUGHOUT THE DURATION OF THE PROJECT THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF CLAIMS OF LIEN BY SUBCONTRACTORS, SUPPLIERS OF MATERIALS, LABOR, SERVICE, OR EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE. APPROVAL FOR FINAL PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT SIGNED RELEASES FROM SUCH INDIVIDUALS OR COMPANIES.

7. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM, IN WRITING, TO THE DESIGNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.

8. DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS OF CONSTRUCTION ITEMS DENOTED IN THE CONSTRUCTION DOCUMENTS SHALL BE INDICATED BY THE CONTRACTOR, TO SCALE, IN CONTRASTING INK ON THE DRAWINGS FOR ALL RUNS OF MECHANICAL AND ELECTRICAL WORK; INCLUDING SITE UTILITIES AND CONCEALED DEVIATIONS FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT, INCLUDING DRAWINGS, PROVIDED BY THE ARCHITECT. THIS SET SHALL BE CONSPICUOUSLY MARKED "AS BUILT SET" AND DELIVERED TO THE ARCHITECT.

9. UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE ARCHITECT SHALL PREPARE A PUNCH-LIST OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER/CONTRACTOR AGREEMENT.

10. EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: IBC, SEISMIC CODES, NEC, NPC, UPC, CBC,MFPA, ASME, UMC AUSI, FIRE AND SAFETY CODES, ADA, STATE TITLE AND ADMINISTRATIVE CODES, AND OTHER APPROPRIATE REGULATORY AUTHORITIES LATEST ENFORCED EDITIONS.

11. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE-SCALE DETAILS SHALL GOVERN OVER SMALL-SCALE DETAILS.

12. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.

13. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS NOTED OTHERWISE.

14. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS HEREIN - EITHER APPARENT OR OBVIOUS - PRIOR TO THE START OF NEW WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.

15. VERIFY LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, ELECTRICAL/TELEPHONE AND COMMUNICATION OUTLETS, LIGHT FIXTURES AND SWITCHES WITH THE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER

17. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.

18. THE CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFECTS FOUND IN EXISTING BUILDING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO UNEVEN SURFACES AND FINISHES AT GYPSUM BOARD OR DAMAGED FIREPROOFING. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT AND ADJOINING SURFACES, UNLESS NOTED OTHERWISE.

20. THE CONTRACTOR SHALL PROVIDE STRICT CONTROL AND JOB CLEANING TO PREVENT DUST AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL ACCESS INTO ADJACENT PROPERTY WITH

THE PROPERTY OWNERS AS REQUIRED FOR PRICING AND CONSTRUCTION.

22. THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES REMAINING. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED THEREIN BY THE CONTRACTOR OR SURCONTRACTORS

23. "TYPICAL" OR "TYP." MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

24. "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED. VERY DIMENSIONS AND ORIENTATION ON PLAN.

25. "VERIFY" OR "VER." MEANS TO ASCERTAIN AND CONFIRM APPLICATION WITH APPROPRIATE PARTY AS NOTED.

26. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.

27. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS/HER BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE CONSTRUCTION DRAWINGS.

28. ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT, AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ALL COPYRIGHT LAWS AND REVELATIONS PERTAINING TO INTELLECTUAL PROPERTY APPLY, BEFORE, DURING, AND AFTER CONSTRUCTION.

29. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY AND FREE OF VIBRATION. ALL SUCH EQUIPMENT SHALL COMPLY WITH LOCAL SOUND ORDINANCES.

30. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE AND COMMUNICATION, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTOWRK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.

31. THE GENERAL CONTRACTOR SHALL PROVIDE SUBMITTAL INFORMATION FOR ALL APPLIANCES, FIXTURES, EQUIPMENT, HARDWARE, FINISH MATERIAL AND ANY ADDITIONAL SELECTIONS FOR APPROVAL PRIOR TO ORDERING. SUBMITTAL INFORMATION INCLUDES TECHNICAL INFORMATION, IMAGES OF THE PRODUCT, AND FINISH SAMPLES FOR APPROVAL.

CONSTRUCTION PLAN NOTES

1. SEE GENERAL NOTES.

2. THE CONTRACTOR SHALL PATCH AND REPAIR ALL FIREPROOFING DAMAGE INCURRED DURING DEMOLITION AND/OR CONSTRUCTION. THE CONTRACTOR SHALL FIREPROOF AS REQUIRED BY CODE, ALL NEW PENETRATIONS GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.

3. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON THE CONSTRUCTION PLAN. IN THE CASE OF A CONFLICT NOTIFY THE ARCHITECT. THE CONSTRUCTION PLAN BY THE ARCHITECT SUPERSEDES ALL OTHER PLANS, INCLUDING ALL CONSTRUCTION PLANS.

4. UPON COMPLETION OF PARTITION LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. VERIFICATION OF LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.

5. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHEREVER REQUIRED. ALL SURFACES SHALL BE ALIGNED AND SANDED SMOOTH.

6. ALL PARTITIONS ARE DIMENSIONED FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD, U.N.O. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF ALL FINISHES INCLUDING CARPET (AND CUSHION), CERAMIC TILE, VCT AND PLYWOOD

7. CEILING HEIGHT PARTITIONS SHALL BE INSTALLED TIGHT TO FINISHED CEILING WITH NO JOINTS VARYING MORE THAN 1/8 INCH OVER 6'-0" AND NO JOINTS GREATER THAN 3/16 INCH.

8. PROVIDE METAL CORNER OR EDGE BEADS AT ALL GWB TERMINATION.

9. REFER TO REFLECTED CEILING PLANS FOR GYPSUM BOARD SOFFITS, CEILINGS AND PLENUM BARRIER

10. FOR DOORS THAT ARE NOT LOCATED BY SPECIFIC PLAN DIMENSIONS, REFER TO TYPICAL DOOR JAMB DIMENSIONS. DOOR OR CASED OPENINGS WITHOUT LOCATION DIMENSIONS ARE TO BE (6) INCHES FROM THE FACE OF THE ADJACENT PARTITION OR CENTERED BETWEEN PARTITIONS.

11. TRIM THE BOTTOMS OF DOORS TO CLEAR THE TOP OF FINISHED FLOOR BY 3/8 INCH MAXIMUM, U.N.O.

12. DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, U.N.O.

13. ALL GLASS SHALL BE CLEAR GLASS, U.N.O. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.

14. ALL MILLWORK ABOVE 4'-0" SHALL BE BOLTED TO PARTITION. THE CONTRACTOR SHALL PROVIDE FIRE TREATED BLOCKING AS REQUIRED.

15. INSTALL ALL NEW OR RELOCATED APPLIANCES SPECIFIED AND ALL EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. VERIFY ALL CLEAR OPENING DIMENSIONS IN CABINETRY ADEQUATELY ACCOMMODATE THE SPECIFIED OR RELOCATED EQUIPMENT.

16. PROVIDE BLOCKING FOR ALL "IN CONTRACT" WALL MOUNTED SHELVES, FIXTURES, AND MILLWORK AND FOR ITEMS SPECIFICALLY NOTED THAT ARE N.I.C.

17. DIMENSIONS MARKED +/- MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION, U.N.O. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT.

18. ALL HEIGHTS ARE DIMENSIONED FROM TOP OF FINISH FLOOR, U.N.O.

19. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER

20. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN.

POWER & DATA PLAN NOTES

1. SEE GENERAL NOTES.

ALIGNMENT.

2. SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATION OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS AS REQUIRED. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

3. ARCHITECTURAL DRAWINGS DETERMINE THE LOCATION OF OUTLETS AND SUPERSEDE CONSULTANTS DRAWINGS, UNLESS NOTED OTHERWISE. VERIFY FIELD CONDITIONS.

4. ELECTRICAL DESIGN TO BE HANDLED AS DESIGN/BUILD,WHERE APPLICABLE.

5. FURNITURE AND EQUIPMENT IS SHOWN FOR COORDINATION OF OUTLETS AND DEVICES ONLY.

6. ALL SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED IN A SINGLE COVER PLATE, U.N.O. IF SWITCH DOES NOT ALLOW GANGING, VERIFY LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION.

7. WHERE THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER INSTALL BOTH ALIGNED VERTICALLY.

8. ALL ELECTRICAL AND COMMUNICATION OUTLETS AND SWITCHES SHALL BE THE SAME COLOR AS THE COVER PLATE, U.N.O. COORDINATE COVER PLATE COLOR WITH THE ARCHITECT PRIOR TO ORDERING OR INSTALLATION.

9. STANDARD MOUNTING HEIGHTS: ELECTRICAL AND COMMUNICATION OUTLETS +18" A.F.F. TO CENTER OF BOX WORK COUNTER OUTLETS AT +44" A.F.F. TO CENTER OF BOX WALL MOUNTED TELEPHONES AT +50" A.F.F. TO CENTER OF BOX SWITCHES AT +44" A.F.F.

10. ALL LIGHT SWITCHES AND OUTLETS TO BE LOCATED 6" FROM THE LATCH SIDE OF THE DOORFRAME, U.N.O.

11. SPECIAL OUTLET MOUNTING HEIGHTS ARE NOTED ADJACENT TO THE OUTLET.

12. AT ALL VOICE AND DATA LOCATIONS PROVIDE MUD RING AND PULL STRING OR CONDUIT IF REQUIRED BY LOCAL BUILDING OFFICIAL. CABLING PROVIDED BY OTHERS.

13. ALL ELECTRICAL, MECHANICAL THERMOSTATS AND LIFE SAFETY DEVICES TO BE LOCATED WITHIN 18" OF THE END OF A WALL OR A DOOR, U.N.O., VERTICALLY ALIGN DEVICES WITH SWITCHES WHERE APPLICABLE.

14. OUTLETS SHOWN BACK TO BACK ON PARTITION WALLS SHALL BE OFFSET 1'-0". SEPARATE BACK-TO-BACK OUTLETS 2'-0" MIN. AT ACOUSTICAL PARTITIONS, U.N.O.

15. COORDINATE ALL WORK RELATED TO SPECIAL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.

16. ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR PIPING AND CONDUIT SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. COORDINATE FLOOR CORES WITH STRUCTURAL BEAMS AND MECHANICAL SYSTEMS BELOW.

17. UPON COMPLETION OF OUTLET LAYOUT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. THE ARCHITECT SHALL SITE VERIFY ALL OUTLET LOCATIONS PRIOR TO COMMENCEMENT OF CORING OR OUTLET INSTALLATION.

 $18. \ FURNISH \ AND \ INSTALL \ UNDERWRITERS \ LABORATORIES, \ INC. \ (UL) \ LABELED \ DEVICES \ THROUGHOUT.$

19. MAINTAIN 4 INCH HORIZONTAL CLEARANCE IN BOTH DIRECTION MINIMUM FROM EDGE OF COVER PLATE, AND THE LIKE, FOR WALL MOUNTED OUTLETS, OR MONUMENT FOR FLOOR MOUNTED OUTLETS, AND THE LIKE, ADJACENT TO A WALL, COLUMN OR SIMILAR ELEMENTS, U.N.O.

20. INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVER PLATE OF MONUMENT. CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.N.O. GANGED COVER PLATES SHALL BE ONE-PIECE TYPE, U.N.O.

21. WALL OUTLETS NOT DIMENSIONED AND SHOWN NEAR THE CORNER SHALL BE INSTALLED 8" FROM THE CORNER; WALL OUTLETS SHOWN NEAR THE CENTER OF A PARTITION SHALL BE INSTALLED ON THE CLOSEST STUD NEAREST THE CENTER, U.N.O.

REFLECTED CEILING PLAN NOTES

1. SEE GENERAL NOTES.

2. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC. MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON THE ARCHITECT'S DRAWINGS.

3. REFER TO DESIGN DRAWINGS AND SPECIFICATIONS FOR LOCATION ONLY. MECHANICAL AND ELECTRICAL TO BE HANDLED AS "DESIGN/BUILD", WHERE APPLICABLE.

5. PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS AS REQUIRED BY THE GOVERNING

6. PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH, U.N.O.

7. THE ELECTRICAL SUBCONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM AND FIXTURE LAMPS AS SPECIFIED, U.N.O.

8. ALL SWITCHES, OUTLETS, THERMOSTATS OR ANY OTHER ELECTRICAL ITEMS SHOWN ON PLAN SIDE BY SIDE BUT CALLED OUT AT DIFFERENT HEIGHTS SHOULD BE STACKED VERTICALLY.

9. ALL SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED IN A SINGLE COVER PLATE, U.N.O. IF SWITCH DOES NOT ALLOW GANGING, VERIFY LOCATION WITH THE DESIGNER PRIOR TO INSTALLATION.

10. WHERE THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER INSTALL BOTH ALIGNED VERTICALLY.

11. ACCESS PANEL TYPE AND LOCATION SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO

COMMENCING WORK.

12. ALL ELECTRICAL AND MECHANICAL THERMOSTATS, AND LIFE SAFETY DEVICES TO BE LOCATED WITHIN 18" OF THE END OF A WALL OR A DOOR, U.N.O. VERTICALLY ALIGN DEVICES WITH SWITCHES WHERE APPLICABLE.

13. ALL SWITCHES AND DIMMERS SHALL BE LOCATED 48" ABOVE FINISHED FLOOR TO CENTER OF SWITCH, U.N.O..

MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FINISHED WITH TONE COVER PLATE, U.N.O..

14. THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING TYPES, CEILING FIXTURES AND ASSOCIATED

15. ALL SPECIFIC INFORMATION CONCERNING INSTALLATION OF VARIOUS ABOVE CEILING ELEMENTS ARE TO BE FOUND IN THE HVAC, PLUMBING, AND FIRE PROTECTION, ELECTRICAL AND LIGHTING DRAWINGS, AND SPECIFICATIONS.

16. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATION WITH MAIN RUNNER, DUCTS, STRUCTURAL, HVAC (E) CONDUIT PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN THE ARCHITECT'S RCP AND ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT'S PRIOR TO INSTALLATION.

17. SUBMIT GRILLE, THERMOSTAT AND OTHER FIXTURES AND ELEMENT LAYOUT TO THE ARCHITECT FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.

18. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ANY AND ALL OTHER APPLICABLE ITEMS. INSTALL APPLICABLE NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS AND OTHER RELATED AND PERTINENT ITEMS SO AS TO NOT CONFLICT WITH LUMINARIES AND ANY AND ALL FIELD CONDITIONS.

19. FURNISH AND INSTALL UNDERWRITERS LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.

20. INSTALL LIGHT FIXTURES WITH PROTECTIVE MYLAR OR SIMILAR COVER OVER LOUVER LENS, BAFFLE, AND THE LIKE, TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. LAMPS SHALL BE NEW AT PROJECT COMPLETION.

ELECTRICAL PLAN NOTES

1. SEE GENERAL NOTES.

2. SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATION OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS AS REQUIRED. NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

3. DESIGNER'S DRAWINGS DETERMINE THE LOCATION OF OUTLETS AND SUPERSEDE CONSULTANTS DRAWINGS, UNLESS NOTED OTHERWISE. VERIFY FIELD CONDITIONS.

4. ELECTRICAL DESIGN TO BE HANDLED AS DESIGNBUILD.

OUTLETS 2'-0" MIN. AT ACOUSTICAL PARTITIONS, U.N.O.

5. FURNITURE AND EQUIPMENT IS SHOWN FOR COORDINATION OF OUTLETS AND DEVICES ONLY.

6. ALL SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED IN A SINGLE COVER PLATE, U.N.O. IF SWITCH DOES NOT ALLOW GANGING, VERIFY LOCATION WITH THE DESIGNER PRIOR TO INSTALLATION.

7. WHERE THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER, INSTALL BOTH ALIGNED VERTICALLY.

8. ALL ELECTRICAL AND COMMUNICATION OUTLETS AND SWITCHES SHALL BE THE SAME COLOR AS THE COVER PLATE, U.N.O. COORDINATE COVER PLATE COLOR WITH THE DESIGNER PRIOR TO ORDERING OR INSTALLATION.

9. STANDARD MOUNTING HEIGHTS:

TYPE, U.N.O.

A. ELECTRICAL AND COMMUNICATION OUTLETS @ 18" A.F.F. TO CENTER OF BOX. B. WALL-MOUNTED TELEPHONES @ 50" A.F.F. TO CENTER OF BOX. C. SWITCHES @ 44" A.F.F.

10.ALL LIGHT SWITCHES AND OUTLETS TO BE LOCATED 8" FROM THE LATCH SIDE OF THE DOOR FRAME, U.N.O.

11.SPECIAL OUTLET MOUNTING HEIGHTS ARE NOTED ADJACENT TO THE OUTLET.

12.AT ALL VOICE AND DATA LOCATIONS PROVIDE MUD RING AND PULL STRING OR CONDUIT IF REQUIRED BY LOCAL BUILDING OFFICIAL CABLING PROVIDED BY OTHERS.

13.ALL ELECTRICAL, MECHANICAL THERMOSTATS AND LIFE SAFETY DEVICES TO BE LOCATED WITHIN 18" OF THE END OF A WALL OR A DOOR. VERTICALLY ALIGN DEVICES WITH SWITCHES WHERE APPLICABLE.

14.OUTLETS SHOWN BACK-TO-BACK ON PARTITION WALLS SHALL BE OFFSET 1' 0". SEPARATE BACK-TO-BACK

15.COORDINATE ALL WORK RELATED TO SPECIAL EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.

16.ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR PIPING AND CONDUIT SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES. COORDINATE FLOOR CORES WITH STRUCTURAL BEAMS AND MECHANICAL SYSTEMS BELOW.

17.UPON COMPLETION OF OUTLET LAYOUT, THE CONTRACTOR SHALL NOTIFY THE DESIGNER. THE DESIGNER SHALL SITE VERIFY ALL OUTLET LOCATIONS PRIOR TO COMMENCEMENT OF CORING OR OUTLET INSTALLATION.

18.FURNISH AND INSTALL UNDERWRITER'S LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.

ADJACENT TO A WALL, COLUMN OR SIMILAR ELEMENTS, U.N.O.

20.INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVER PLATE OF MONUMENT. CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.N.O. GANGED COVER PLATES SHALL BE ONE PIECE

19. MAINTAIN 4 INCH HORIZONTAL CLEARANCE IN BOTH DIRECTION MINIMUM FROM EDGE OF COVER PLATE,

AND THE LIKE, FOR WALL-MOUNTED OUTLETS OR MONUMENT FOR FLOOR MOUNTED OUTLETS, AND THE LIKE,

21.WALL OUTLETS NOT DIMENSIONED AND SHOWN NEAR THE CORNER SHALL BE INSTALLED 8" FROM THE CORNER. WALL OUTLETS SHOWN NEAR THE CENTER OF A PARTITION SHALL BE INSTALLED ON THE STUD NEAREST THE CENTER, U.N.O.

22. SEC R404.1: Provide a note on the drawing,
"A minimum of 75 percent of permanently installed lamps in lighting fixtures shall be high-efficacy lamps."

FINISH PLAN NOTES

FINISHES SHALL BE SANDED BETWEEN COATS.

I. ALL VENEER STAINS SHALL HAVE UNIFORM COLOR.

1. SEE GENERAL NOTES.

2. PAINTING - NO PAINTING OR INTERIOR FINISHING SHALL BE DONE UNDER CONDITIONS, WHICH WILL JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK. ALL WORKMANSHIP, WHICH IS JUDGED LESS

THAN FIRST QUALITY BY THE ARCHITECT, WILL BE REJECTED.

A. ALL COLORS ARE TO BE SELECTED OR APPROVED BY THE ARCHITECT.

B. B. ALL NEW AND EXISTING SURFACES SHALL BE PREPARED TO RECEIVE THE SPECIFIED FINISH.
C. PAINT GRADE WOODWORK SHALL BE HAND SANDED AND DUSTED CLEAN. ALL KNOT HOLES;
PITCH POCKETS OR SAPPY PORTIONS SHALL BE SCRAPED AND SEALED. FILL NAIL HOLES,
CRACKS OR DEFECTS CAREFULLY WITH MATCHING PUTTY. INTERIOR PAINT GRADE WOODWORK

D. INTERIOR GYPSUM WALLBOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAP, WHICH MAY HAVE FORMED, IN THE SANDING PROCESS

THE SANDING PROCESS.

E. ALL EXISTING FERROUS METAL SHALL BE LIGHTING SANDED TO PREPARE A SMOOTH SURFACE.

F. ALL EXISTING GWB SHALL BE PREPPED AND PATCHED TO MATCH ADJACENT SURFACE.

G. THE CONTRACTOR SHALL, UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT HAS SPILLED, SPLASHED OR SPLATTERED ON EXPOSED ADJACENT SURFACES.

H. PROTECT ALL SURFACES NOT TO RECEIVE PAINT FROM ALL DRIPS, SPLATTERS AND SPILLS.

IMMEDIATELY CLEAN ANY SPILL TO AVOID DAMAGING THE EXISTING SURFACE.

J. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A MINIMUM OF (2) 8" X 10" BRUSH-OUTS OF EACH COLOR AND FINISH FOR THE ARCHITECT'S APPROVAL AT LEAST TWO WEEKS PRIOR TO SITE APPLICATION. A WALL TEST WILL BE REQUIRED ONE WEEK PRIOR TO FINAL APPROVAL. THE ARCHITECT RESERVES THE RIGHT TO ADJUST ANY COLOR ONCE THE WALL TEST HAS BEEN MADE.

3. ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC., SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALLCOVERINGS AND CARPET. REMOVE ALL EXISTING SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, GRILLS, SIGNAGE, ETC PRIOR TO PAINTING. REINSTALL WHEN PAINTING IS COMPLETE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWING FOR DELIVERY LEAD TIMES FOR ALL FINISHES WITHIN THE CONSTRUCTION SCHEDULE. ALL DELIVERY TIMES MUST BE CONFIRMED, AND ANY EXCESSIVE LENGTH MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY TO ALLOW FOR RE-SPECIFICATION IF NEEDED.

5. THE CONTRACTOR SHALL MODIFY EXISTING FLOOR SURFACES AS REQUIRED TO INSTALL NEW FLOORING MATERIALS THUS PREVENTING NOTICEABLE LUMPS, OR DEPRESSIONS, WHICH MAY CAUSE UNUSUAL WEAR TO NEW MATERIALS.

6. SEE FINISH PLAN, INTERIOR ELEVATIONS AND DETAILS FOR CLARIFICATION OF EXTENT OF FINISH.

7. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A CARPET SEAMING DIAGRAM AT LEAST 2 WEEKS PRIOR TO INSTALLATION.

8. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR COLOR FINISH OF ALL WALL-MOUNTED DEVICES ON ACCENT COLORED WALLS SUCH THAT DEVICES SHALL MATCH THE COLOR OF THE WALL (SWITCHES, OUTLETS, STROBES, ETC.), UNLESS FINISH IS GOVERNED BY CODE.

PAINT SCHEDULE FOR INTERIOR SURFACES

BENJAMIN MOORE OR EQUAL. REFER TO FINISH PLAN FOR COLOR SELECTIONS.

1. GYPSUM WALLBOARD: WALLS AND CEILINGS.

A. LATEX, EGGSHELL. CLEAN AND ROLL ON THREE-COAT SYSTEM.

1. BOTTOM COAT: BENJAMIN MOORE, PRISTINE ECO SPEC PRIMER

2. INTERMEDIATE COAT: BENJAMIN MOORE, PRISTINE ECO SPEC

3. TOP COAT: BENJAMIN MOORE, PRISTINE ECO SPEC

2. FERROUS METAL: HOLLOW METAL DOORS AND FRAMES, HANDRAILS, EXPOSED MISCELLANEOUS METALS.
A. ACRYLIC SEMIGLOSS. SAND EXISTING METAL AND BRUSH ON THREE-COAT SYSTEM.
1. BOTTOM COAT: BENJAMIN MOORE, PRISTINE ECO SPEC PRIMER
2. INTERMEDIATE COAT: BENJAMIN MOORE, PRISTINE ECO SPEC
3. TOP COAT: BENJAMIN MOORE, PRISTINE ECO SPEC

3. WOOD: WOOD TRIM, WOOD DOORS AND FRAMES.
A. ACRYLIC SEMIGLOSS. SAND EXISTING WOOD AND BRUSH ON THREE-COAT SYSTEM.
1. BOTTOM COAT: BENJAMIN MOORE, PRISTINE ECO SPEC PRIMER
2. INTERMEDIATE COAT: BENJAMIN MOORE, PRISTINE ECO SPEC
3. TOP COAT: BENJAMIN MOORE, PRISTINE ECO SPEC

GENERAL LIGHTING NOTES

SWITCHES WHERE APPLICABLE.

ELECTRICAL TO BE HANDLED AS "DESIGNBUILD."

THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK
TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC.

MAINTAIN FINISHED CEILING HEIGHTS INDICATED ON THE ARCHITECT/DESIGNER'S DRAWINGS.

2. REFER TO DESIGN DRAWINGS AND SPECIFICATIONS FOR LOCATION ONLY. MECHANICAL AND

3. PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE-RATED ELEMENTS AS REQUIRED BY THE GOVERNING AUTHORITY.

4. PERIMETER CEILING ANGLE WHERE OCCURS SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH.

5. THE ELECTRICAL SUBCONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM AND FIXTURE LAMPS AS SPECIFIED.

 6. ALL SWITCHES, OUTLETS, THERMOSTATS OR ANY OTHER ELECTRICAL ITEMS SHOWN ON PLAN SIDE BY SIDE BUT CALLED OUT AT DIFFERENT HEIGHTS SHOULD BE STACKED VERTICALLY.
 7. ALL SWITCHES SHOWN ADJACENT TO EACH OTHER SHALL BE GANGED AND COVERED IN A SINGLE

ARCHITECT/DESIGNER PRIOR TO INSTALLATION.

COVER PLATE, U.N.O. IF SWITCH DOES NOT ALLOW GANGING, VERIFY LOCATION WITH THE

8. WHERE THERMOSTATS AND LIGHT SWITCHES OCCUR TOGETHER, INSTALL BOTH ALIGNED

9. ACCESS PANEL TYPE AND LOCATION SHALL BE SUBMITTED TO THE ARCHITECT/DESIGNER FOR

APPROVAL PRIOR TO COMMENCING WORK.

10.ALL ELECTRICAL AND MECHANICAL THERMOSTATS AND LIFE SAFETY DEVICES TO BE LOCATED WITHIN 18 INCHES OF THE END OF A WALL OR A DOOR. VERTICALLY ALIGN DEVICES WITH

11.ALL SWITCHES AND DIMMERS SHALL BE LOCATED 48 INCHES ABOVE FINISHED FLOOR TO CENTER OF SWITCH, U.N.O. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FINISHED WITH ONE TONE COVER PLATE, U.N.O.

12.THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING TYPES, CEILING FIXTURES AND ASSOCIATED ITEMS.

13.ALL SPECIFIC INFORMATION CONCERNING INSTALLATION OF VARIOUS ABOVE CEILING ELEMENTS ARE TO BE FOUND IN THE HVAC, PLUMBING AND FIRE PROTECTION, ELECTRICAL AND LIGHTING DRAWINGS.

14.CONTRACTOR TO NOTIFY ARCHITECT/DESIGNER OF ANY CONFLICTS OF LIGHT FIXTURE LOCATION

WITH MAIN RUNNER, DUCTS, STRUCTURAL, HVAC (E) CONDUIT PRIOR TO FRAMING FOR LIGHTS. ANY

DISCREPANCIES BETWEEN THE ARCHITECT/DESIGNERS RCP AND ACTUAL FIELD CONDITIONS ARE TO

BE CLARIFIED WITH THE DESIGNER PRIOR TO INSTALLATION.

15.SUBMIT GRILLE, THERMOSTAT AND OTHER FIXTURES AND ELEMENT LAYOUT TO THE

ARCHITECT/DESIGNER FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.

16. VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL PLUMBING, MECHANICAL DUCTS, STRUCTURAL ELEMENTS AND ANY AND ALL OTHER APPLICABLE ITEMS. INSTALL APPLICABLE NEW PLUMBING, MECHANICAL, FANS, DUCTS, CONDUITS AND OTHER RELATED AND APPURTENANT ITEMS SO AS TO NOT CONFLICT WITH LUMINARIES AND ANY AND ALL FIELD CONDITIONS.

17. FURNISH AND INSTALL UNDERWRITERS LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.

18.INSTALL LIGHT FIXTURES WITH PROTECTIVE MYLAR OR SIMILAR COVER OVER LOUVER LENS, BAFFLE, AND THE LIKE, TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. LAMPS SHALL BE NEW AT PROJECT COMPLETION. SZ

SUZANNE ZAHR INC.

2441 SE 76TH AVE, SUITE 160 MERCER ISLAND, WASHINGTON 98040 T. 206 354 1567 WWW.SUZANNEZAHR.COM

RESIDENCE STRUCTURE

CCESSOR

PROJECT NUMBER

23004

9221
REGISTERED ARCHITECT
SUZANNE ZAHR
STATE OF WASHINGTON

ISSUED / REVISIONS DATE

05.14.24

GENERAL NOTES

ISSUE DATE:

DRAWN BY:

CHECKED BY:

SHEET NUMBER

A0.1

APPROX. LOCATION OF

GAS LINE, PER PAINT

CB (TYPE 1) _RIM=355.12′

=353.47

E 12"CONC(N./S.)

APPROX. LOCATION

ELEV=355.36'

RIM=354.63'

TE 12"CONC(N.)=353.38"

IE 12"CONC(S.)=353.23"

(IN FEET) 1 INCH = 10 FT.

INDEXING INFORMATION

SECTION: 18 TOWNSHIP: 24N

RANGE: 05E, W.M.

COUNTY: KING

<u>SE</u> 1/4 <u>SW</u> 1/4

ASPH

W/CAP & NAIL LS# 20764

0.05'N OF LINE & 0.06'W

RIM=355.34'

=347.04'(C.C.)

IE 8"CONC(N./S.)

FROM PROP COR

JOB NUMBER: 10/27/23 1" = 10'

REVISION HISTORY 1/13/23 N. OFFSITE ADD.

SHEET NUMBER

(PER QUIT CLAIM DEED RECORDING# 9210150211)

LOT 3, BLOCK 9, ALLVIEW HEIGHTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON; EXCEPT THE SOUTH 3 FEET THEREOF.

LEGAL DESCRIPTION

BASIS OF BEARINGS

ACCEPTED A BEARING OF N 01°02'28" E BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF 88TH AVENUE SE, CALCULATED USING NAD 83(2011) WASHINGTON STATE PLANE COORDINATES PER GPS OBSERVATIONS.

REFERENCES

- R1. ALLVIEW HEIGHTS ADDITION TO SEATTLE, VOL. 16 OF PLATS, PG. 20, RECORDS OF KING COUNTY, WASHINGTON
- R2. RECORD OF SURVEY, VOL. 165, PG. 162, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

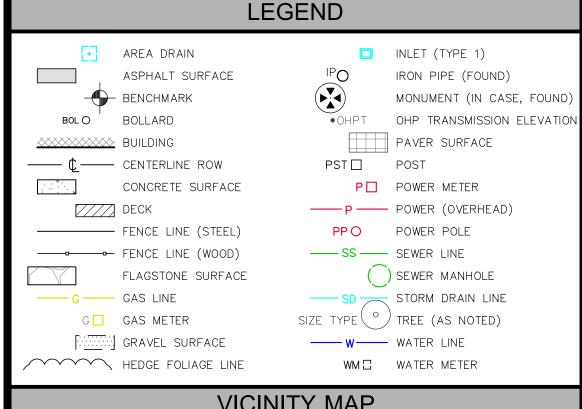
NAVD 88 PER GPS OBSERVATIONS

SITE TEMP. BENCHMARK DESCRIPTION: PK NAIL W/ RED WASHER LOCATION: 39.1'E & 24.0'N OF THE SE PROP. COR. ELEVATION: 355.36'

SURVEYOR'S NOTES

- . THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN OCTOBER OF 2023. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- 3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
- 4. SUBJECT PROPERTY TAX PARCEL NO. 019110-0655 5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 9,141 ±S.F.
- 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
- 7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE
- 8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND

MEET THE STANDARDS SET BY WAC 332-130-090.



VICINITY MAP

24" CED\(DEAD)

6" DEC

W/CAP & TACK

ELEV.: 357.50'

0.8'E OF LINE LS# 20764 & 3.2'S FROM 0.04'S OF LINE &

PROP COR 5.00'E FROM PROP COR

3.9'N OF LINE & 7.9'W F\ROM

PROP COR

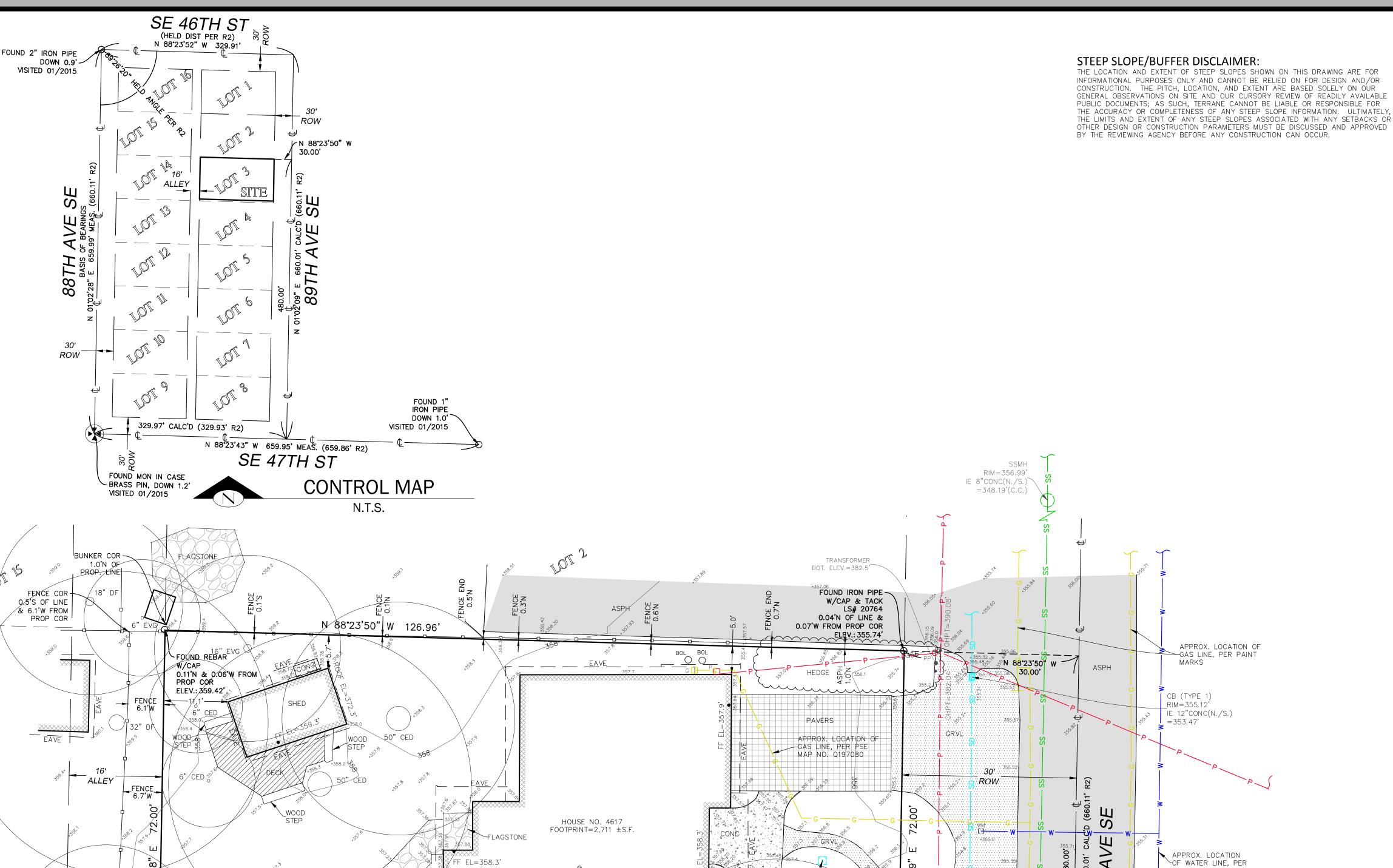
FENCE COR -

2.5'S OF LINE & 7.9'W FROM PROP COR 50" DF /



APPROX. LOCATION

OF SIDE SEWER,-PER RECORDS



N 88°23'49" W 126.97'

FENCE COR

3.2' S

THE NET LOT AREA SHALL BE AT LEAST 9,600 SQUARE FEET. LOT WIDTH SHALL BE AT LEAST 75 FEET AND LOT DEPTH SHALL BE AT LEAST 80 FEET.

LOT AREA: 9,141 SF

LOT WIDTH:

LOT WIDTH SHALL BE AT LEAST 75 FEET AND LOT DEPTH SHALL BE AT LEAST 80 FEET. (A)FOR LOTS WITH A LOT WIDTH OF 90 FEET OR LESS, THE SUM OF THE SIDE YARDS' WIDTH SHALL BE AT LEAST 15 FEET.

THE MINIMUM SIDE YARD WIDTH IS FIVE FEET.

HIGHEST ELEVATION POINT OF LOT: 359.2' LOWEST ELEVATION POINT OF LOT: 354.8' **ELEVATION DEFFERENCE: 4.4** SHORTEST HORIZANTAL DISTANCE BETWEEN THESE TWO POINTS: 146' 7" LOT SLOPE: 3 %

ALLOWED LOT COVERAGE: 40% OF LOT AREA: 3,656.4 SF

EXISTING LOT INFORMATION:

9,141 SF LOT AREA: 3,656.4 SF (40%) ALLOWED LOT COVERAGE: EX. ROOF AREA: 3275.23 SF 462.93 SF EX DRIVEWAY:

EXISTING LOT COVERAGE:

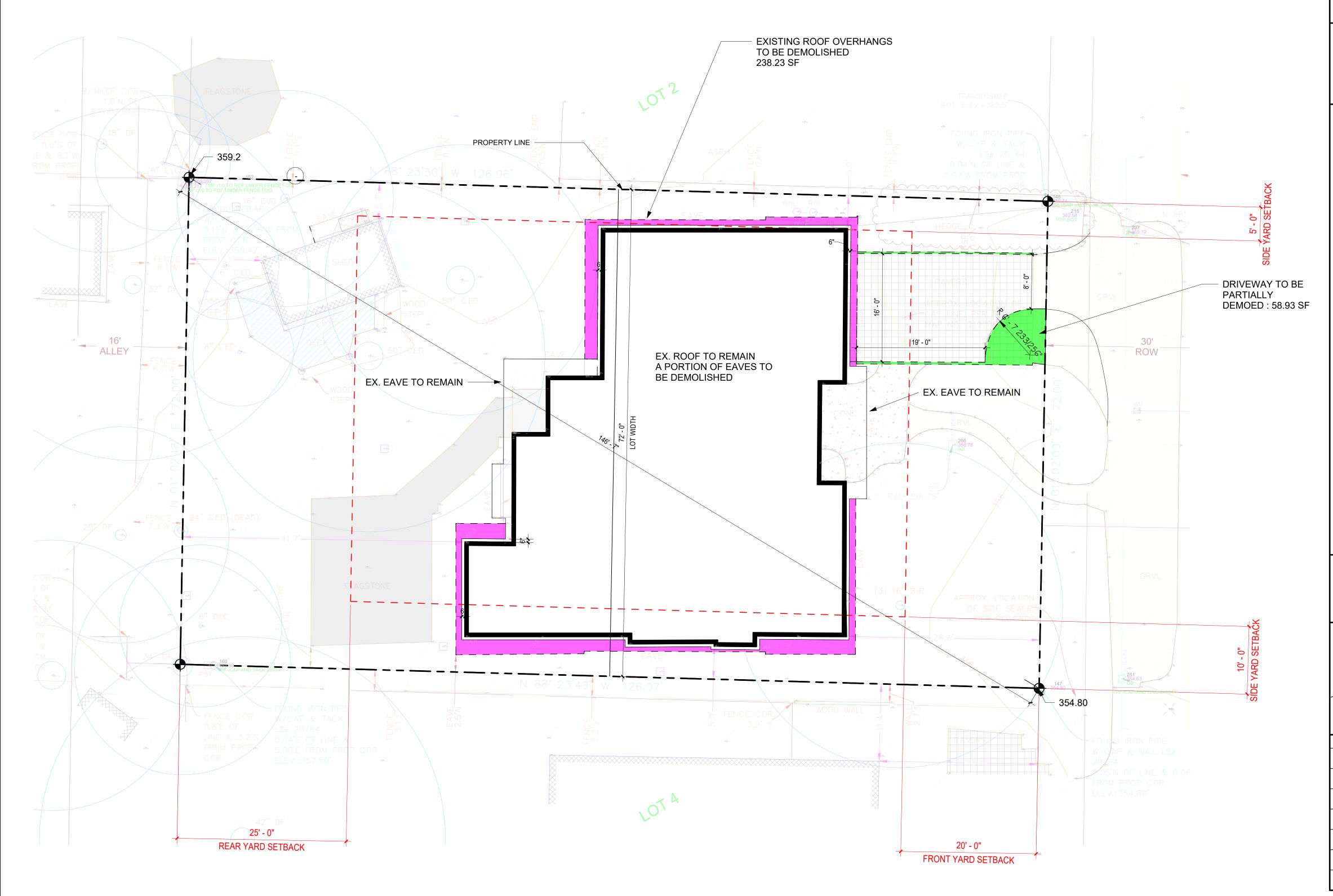
3,738.16 SF (40.89 %) > 3,656.4 SF (40%) NON-COMPLIANT

AREAS REMOVED FOR COMPLIANCE:

REMOVED FROM MAIN HOUSE ROOF: 238.23 SF

REMOVED FROM DRIVEWAY:

297.16 SF TOTAL LOT COVERAGE AREA REMOVED):







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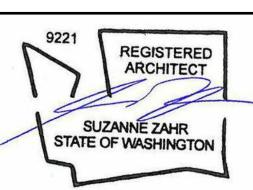
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ACC

Y 89TH AVE SE CER ISLAND, V

PROJECT NUMBER

23004



ISSUED / REVISIONS	DATE

05.14.24 ISSUE DATE: DRAWN BY:

SITE PLAN - DEMO

SHEET NUMBER

PERMIT SET

A1.0

EXISTING LOT INFORMATION:

LOT AREA:

9,141 SF

ALLOWED LOT COVERAGE:

3,656.4 SF (40%)

EX. ROOF AREA:

EX DRIVEWAY:

3275.23 SF 462.93 SF

EXISTING LOT COVERAGE:

3,738.16 SF (40.89 %) > 3,656.4 SF (40%) NON-COMPLIANT

AREAS REMOVED FOR COMPLIANCE:

REMOVED FROM MAIN HOUSE ROOF:

238.23 SF

REMOVED FROM DRIVEWAY:

58.93 SF

297.16 SF

PROPOSED CHANGES:

PROPOSED MAIN ROOF AREA (WITH 6" OVERHANGS): 3,037 SF

PROPOSED DRIVEWAY AREA (16' WIDE):

TOTAL LOT COVERAGE AREA REMOVED):

404 SF

PROPOSED ACCESSORY STRUCTURE ROOF AREA:

210 SF

TOTAL LOT COVERAGE: 3,651 SF (39.9%) < 3,656.4 SF (40%) COMPLIANT

HARDSCAPE CALCULATION:

ALLOWED GFA: 95 OF LOT AREA

822.69 SF 480.5 SF

EX. UNCOVERED PATIO:

EX WALKWAYS

TOTAL EX. HARDSCAPE:

158 SF

638.5 SF < 822.69 SF

PROPOSED UNCOVERED DECK

122 SE

TOTAL PROPOSED HARDSCAPE: 761.5 SF < 822.69 SF

PROPOSED GFA CALCULATION:

B.R-9.6: 8,000 SQUARE FEET OR 40 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

ALLOWED GFA (40% OF LOT AREA): EX. MAIN HOUSE + ATTACHED GARAGE:

3,656.4 SF 2,713 SF **2,713 SF - 29 %**

PROPOSED ATTACHED ACCESSRY STRUCTURE 184 SF

PROPOSED GFA

E 184 SF **2,897 SF - 31%**

18' - 3 1/4"
A358.4

D
358
C
C
358
p

ABE CALCULATION

1/16" = 1'-0"

	MIDPOINT ELEVATION		WALL SEGMENT LENGTH	
Α	358.4	а	18.1	6487.04
В	358	b	10.1	3615.8
С	358	С	18.1	6479.8
D	358.2	d	10.1	3617.82
		Total	56.4	20200.46

ABE 358.1641844



1 SITE PLAN - PROPOSED
1/8" = 1'-0"



SZ

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> JENCE TURE

ACCESSORY STRUCTU

PROJECT NUMBER
23004

9221
REGISTERED ARCHITECT
SUZANNE ZAHR
STATE OF WASHINGTON

ISSUED / REVISIONS DATE

ISSUE DATE: 05.14.24

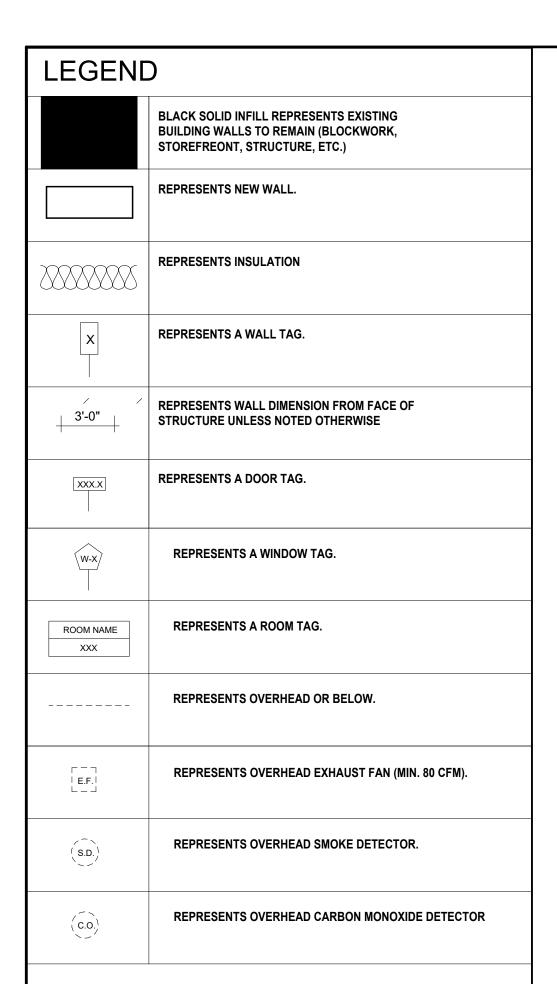
DRAWN BY: SA

CHECKED BY: SZ

SITE PLAN -PROPOSED

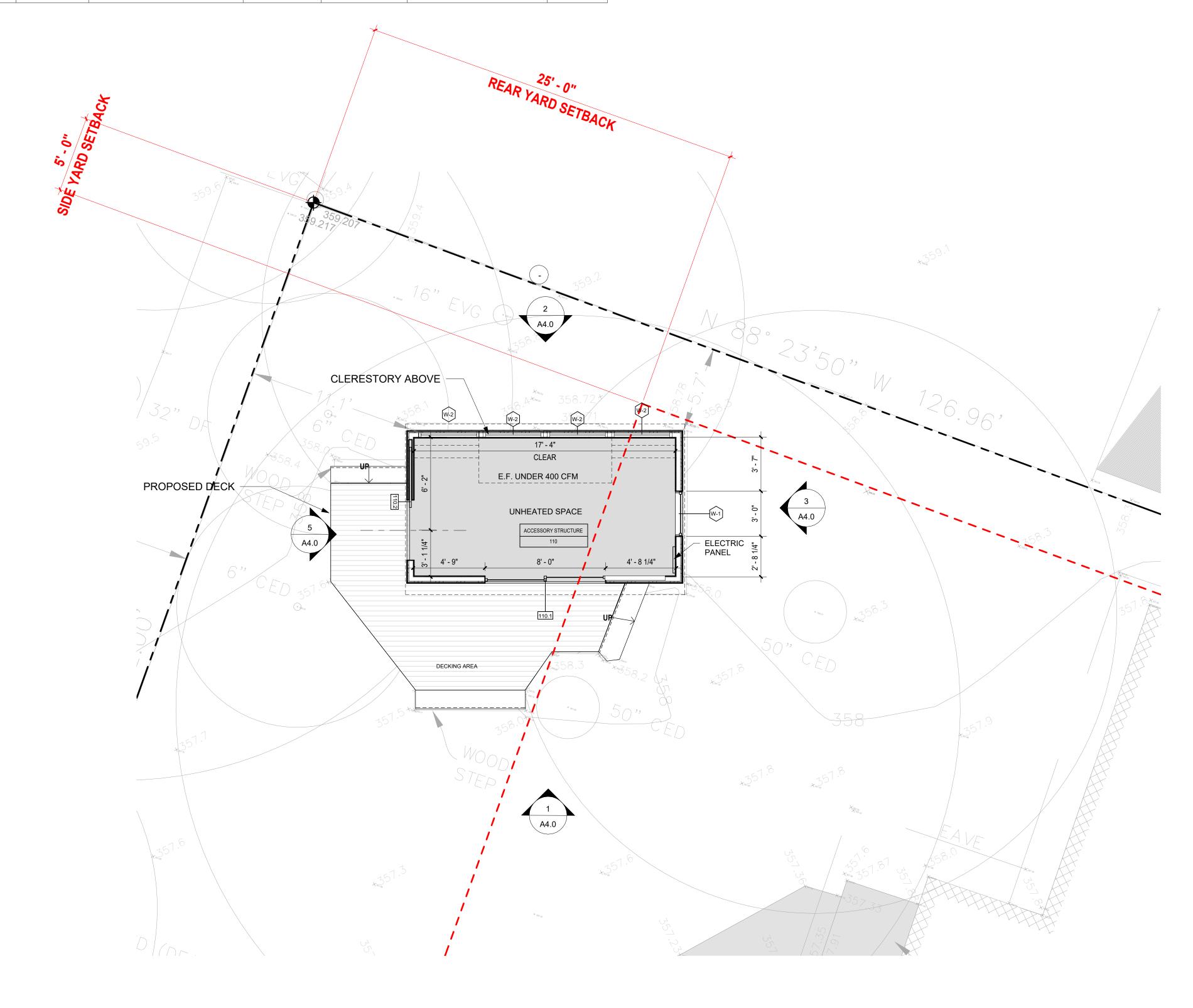
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A1.1

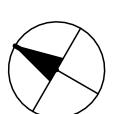


			WINDOW	SCHEDULE				
TAG	MANUFACTURER	LOCATION	QTY.	WIDTH	HEIGHT	AREA	Mark	SAFETY GLAZING
					,			
W-1		ACCESSORY STRUCTURE	1	3' - 0"	3' - 0"	9 SF	CASEMENT	NO
W-2		ACCESSORY STRUCTURE	4	4' - 0"	2' - 0"	8 SF	FIXED	NO

			DOOR SCHEDULE				
TAG	DESCRIPTION	LEVEL	LOCATION	DOOR WIDTH	DOOR HEIGHT	AREA	SAFETY GLAZING
110.1	SLIDING POCKET GLASS PATIO DOOR	FINISH FLOOR	ACCESSORY STRUCTURE	8' - 0"	6' - 10"	55 SF	YES
110.2	POCKET GLASS PATIO DOOR	FINISH FLOOR	ACCESSORY STRUCTURE	4' - 0"	6' - 10"	27 SF	YES







<u>S</u>

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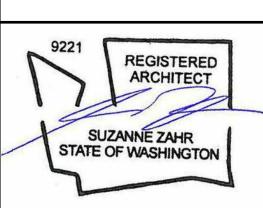
TRUCTURE

ACCESSORY STRU

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 05.14.24

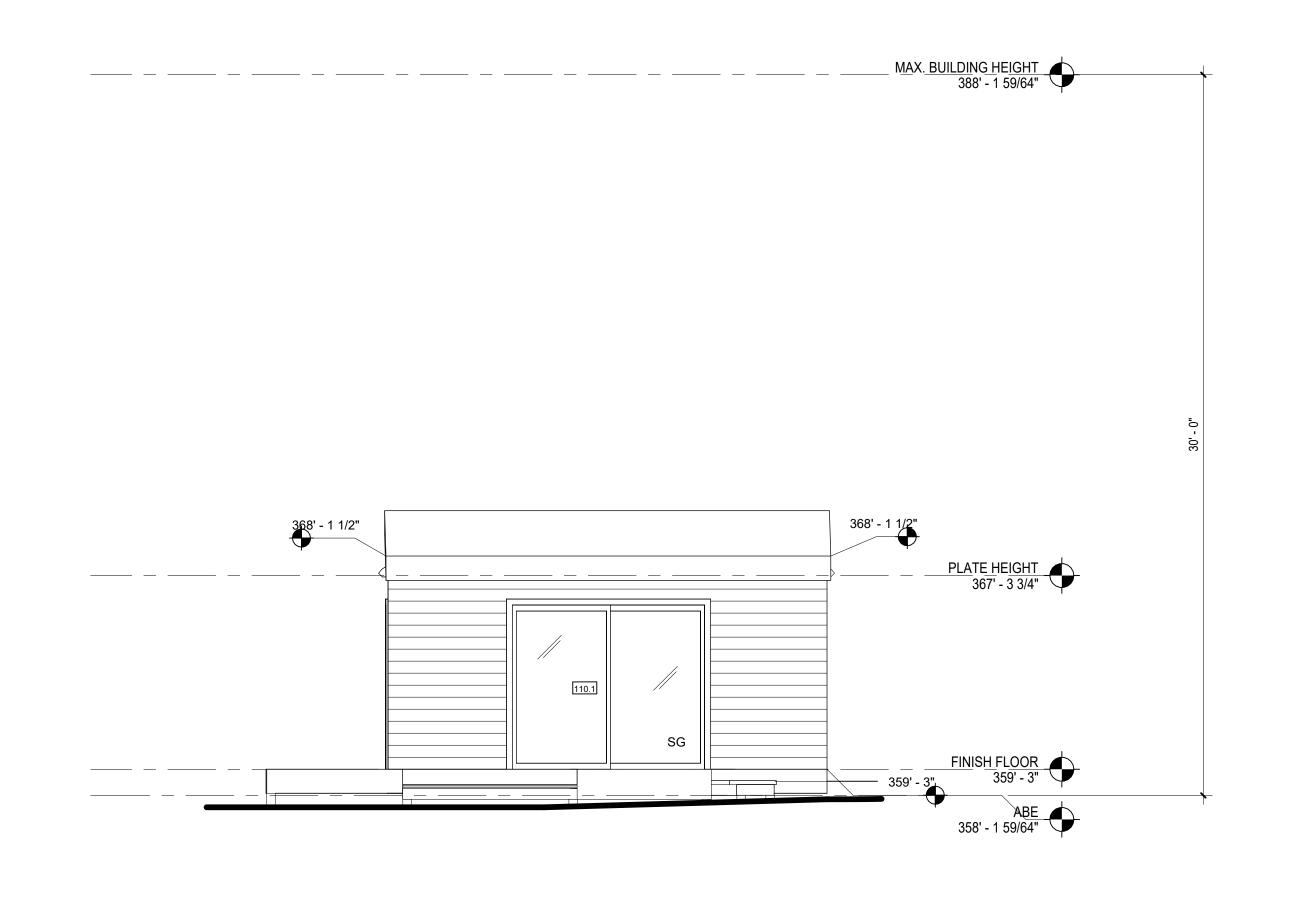
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 SA

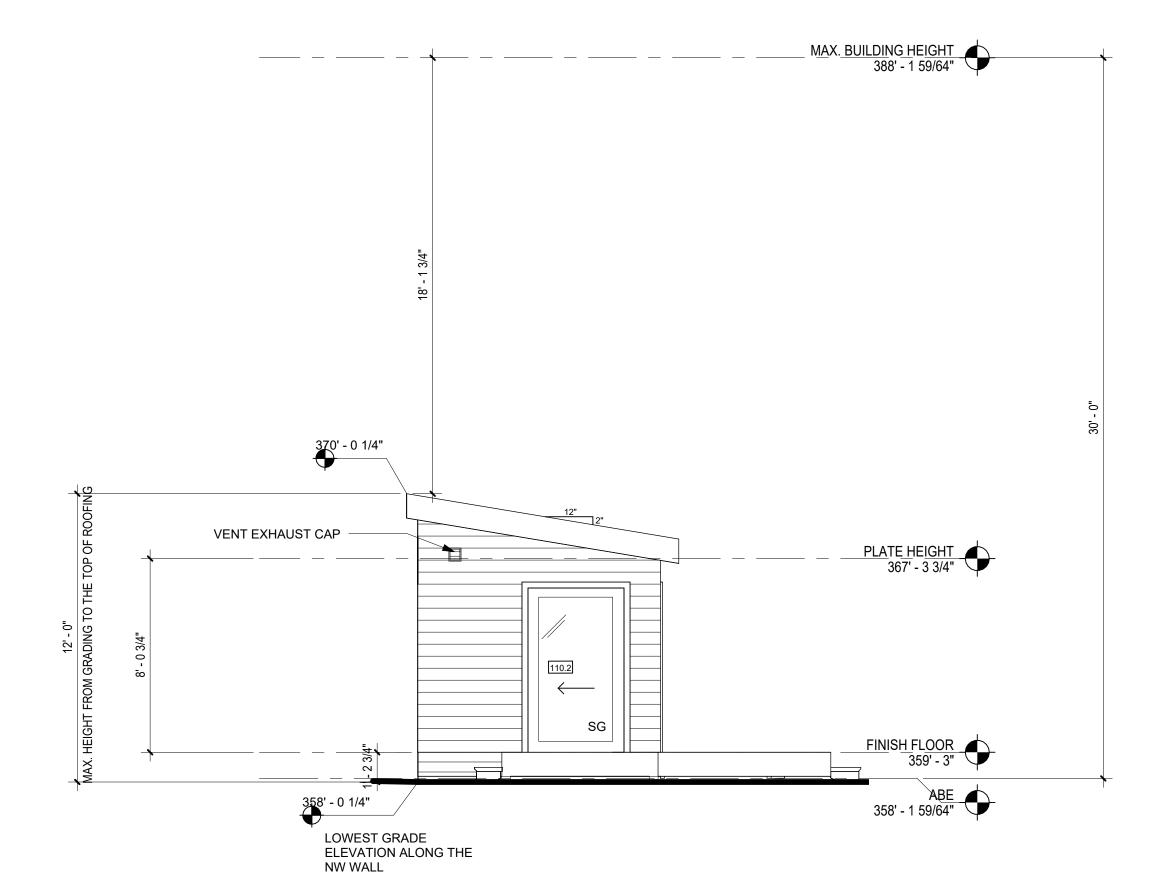
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 SZ

ACCESSORY STRUCTURE FLOOR PLAN

SHEET NUMBER

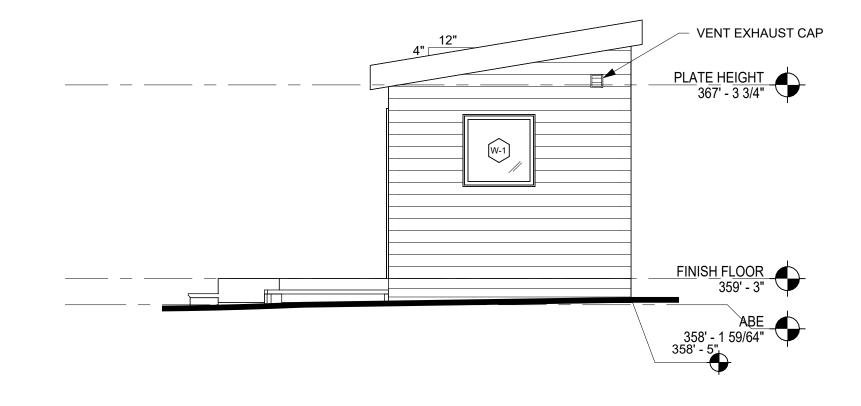
A2.1

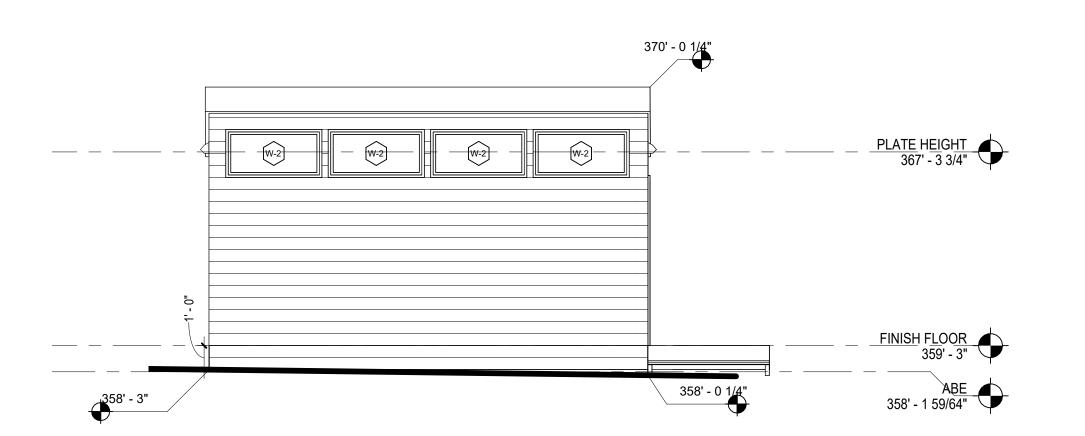




NORTHWEST ELEVATION 1/4" = 1'-0"







SOUTHWEST ELEVATION

1/4" = 1'-0"

SOUTH EAST ELEVATION

1/4" = 1'-0"

SZ

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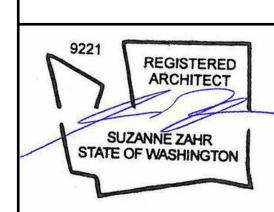
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PPLE RESIDENCE

ACCESSORY STR 4617 89TH AVE SE MERCER ISLAND, WA 9

PROJECT NUMBER

23004



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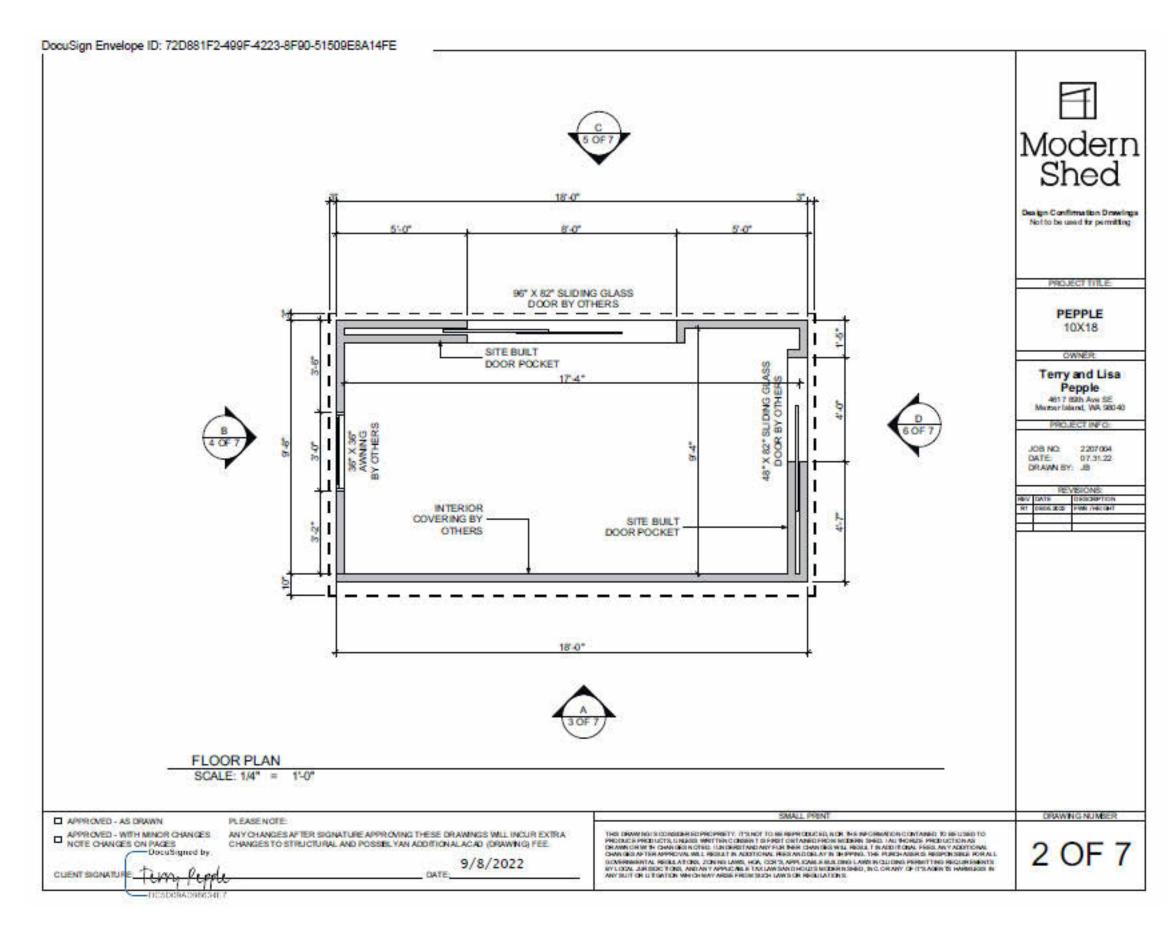
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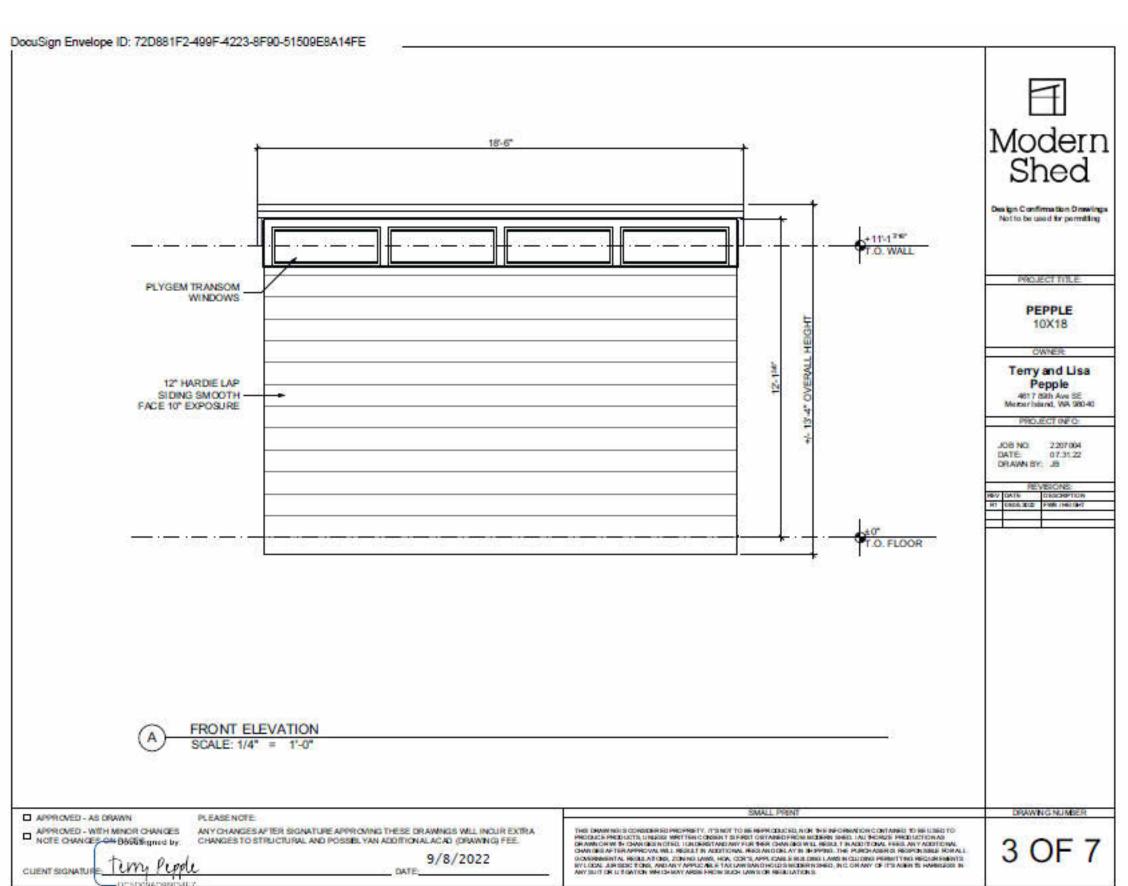
BUILDING ELEVATIONS

SHEET NUMBER

A4.0

NOTE: ARCHITECTURAL DIMENSIONS PER A4.0





DocuSign Envelope ID: 72D881F2-499F-4223-8F90-51509E8A14FE

Modern	Shed LLC	Pricer V-29-Summer 2022	8'x/10'x/12'x/14'x
Name: Terry & Lisa	Pepple	Job #:	2207004
and the same of th	07/29/22	Permitting:	No
Size: 10	X 18	Model:	Front Wall Bearing
Height restriction:		Revision #:	R1
Installer:	Location:	Use:	Sales person:
Dave W	Mercer Island	Glass Art Studio	Jeff Bergerson
BASE BOX P	RICING		
	Sides B and D 8x, 10x		
		options listed lower on page)	
2x4 studs, R1	.3 batt insulation, 7/16"	OSB exterior sheathing, (ZipWall on open jo	int siding), pre-assembled top cap and transom
glass frames	with insulated double pa	ane glass units. Roof and floor: see below	
Wall Frami	10 1777 72 777		
	2x4 stud framing-holes	drilled for wiring	
Wall Insula			
	R-13 Wall insulation-(b Bearing Design	oatt)	
N		ht (eliminates roof beam) exchanges tra	ansom IGU's for PG vinvl windows
1.	anticontact and the contract of the contract o	사이에 교육하는 경에 가게 되고 있다. 그는 사람이 되었다는 것이 되었다는 것이 되었다. 그 그는 사람이 되었다는 것이 되었다는 것이 되었다는 것이 되었다는 것이 되었다는 것이 되었다.	ro series, ***NO RAKE WALL TRANSOMS
OPTIONS			, , , , , , , , , , , , , , , , , , , ,
Interior Wa	II Covering		
DALLEY REMOLDATIONS STOREDS		ng selected (Interior wall covering by ot	hers)
Electrical P	**	ing selected (interior wall covering by or	
		f nanels except ends above rake walls (Allows overhead electrical box connection.)
Roof System		pariers except ends above rake wans.(/	Allows overhead electrical box confilections,
Classic - roc	of style	nd fascia. See below for rafter size and insula ngs = 6 in Side A. 3 in sides B, C, D	ation value.
		fing underlayment -required in snowy o	or rainy climates and coastal regions
		rigid foam insulation-unvented	
Ceiling Line	r		
	Lx6 Knotty Pine Tongu	e & Groove	
Floor Systen	_		
		e (2x6 joists, 4x10 beams, batt insulatio	on)
Exterior Sidi	Vis		•
	**************************************	n Face UNPAINTED includes house wrap	, window/door/corner trim
		nsom window frames/fascia	, , , , , , , , , , , , , , , , , , , ,
	5 m s. m marra Hanna Hanna	ansom frames, top cap and fascia	
Extra Wall I	Height		
3 F	Per foot added to wall	height	
Doors: - All	doors include lock-se	ts	
2 Do	or(s) by others -Rough	opening framing ONLY - See drawing fo	or dimensions
Windows: -	includes framing (all o	pperable windows include screens)	
1 Wi	ndow(s) by others (EN	ITER QTY) - Rough opening framing ONI	Y-See drawing for dimensions
Interior wir	ndow trim:		
1 \	Window trim by other	S	
Crating / Los	947596		
		osed trailer for delivery	
Ш	NO RAKE	WALL TRANOMS	SWINDOWS

S/

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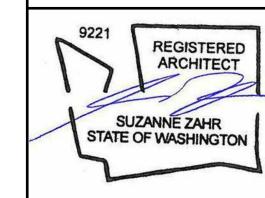
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ACCESSORY STRUCT

PROJECT NUMBER

2300/

23004



ISSUED / REVISIONS	DATE

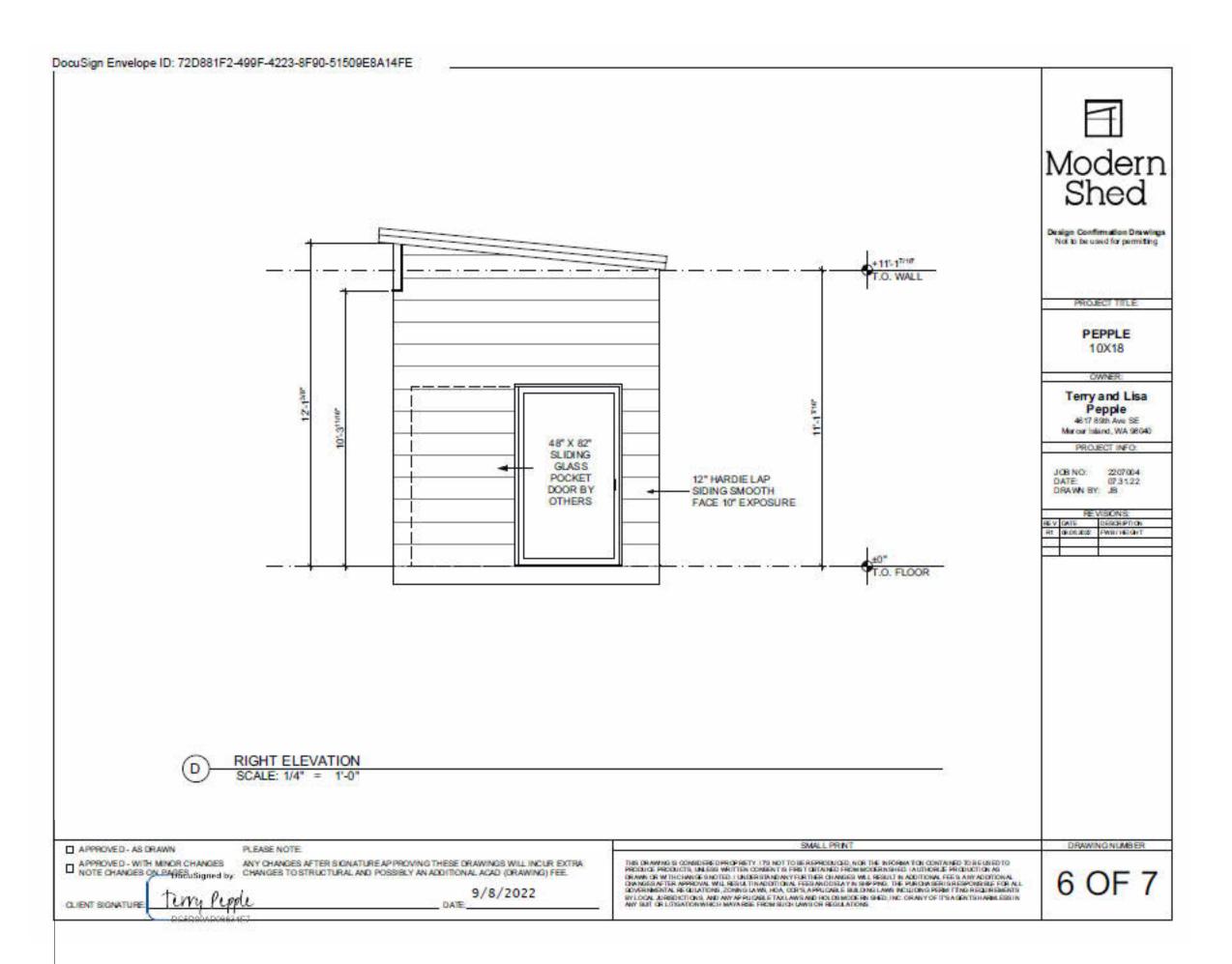
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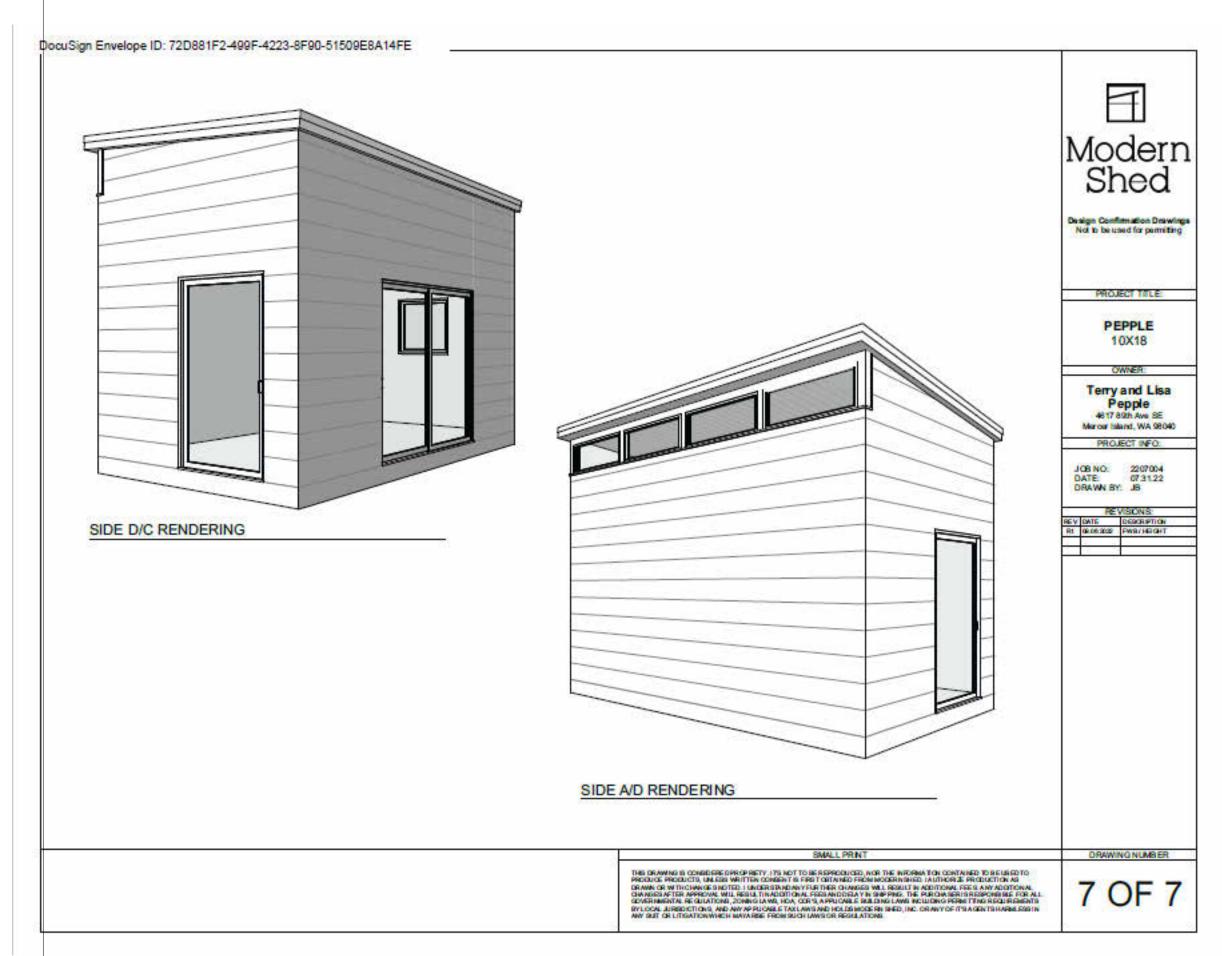
MANUFACTURER DRAWINGS #1

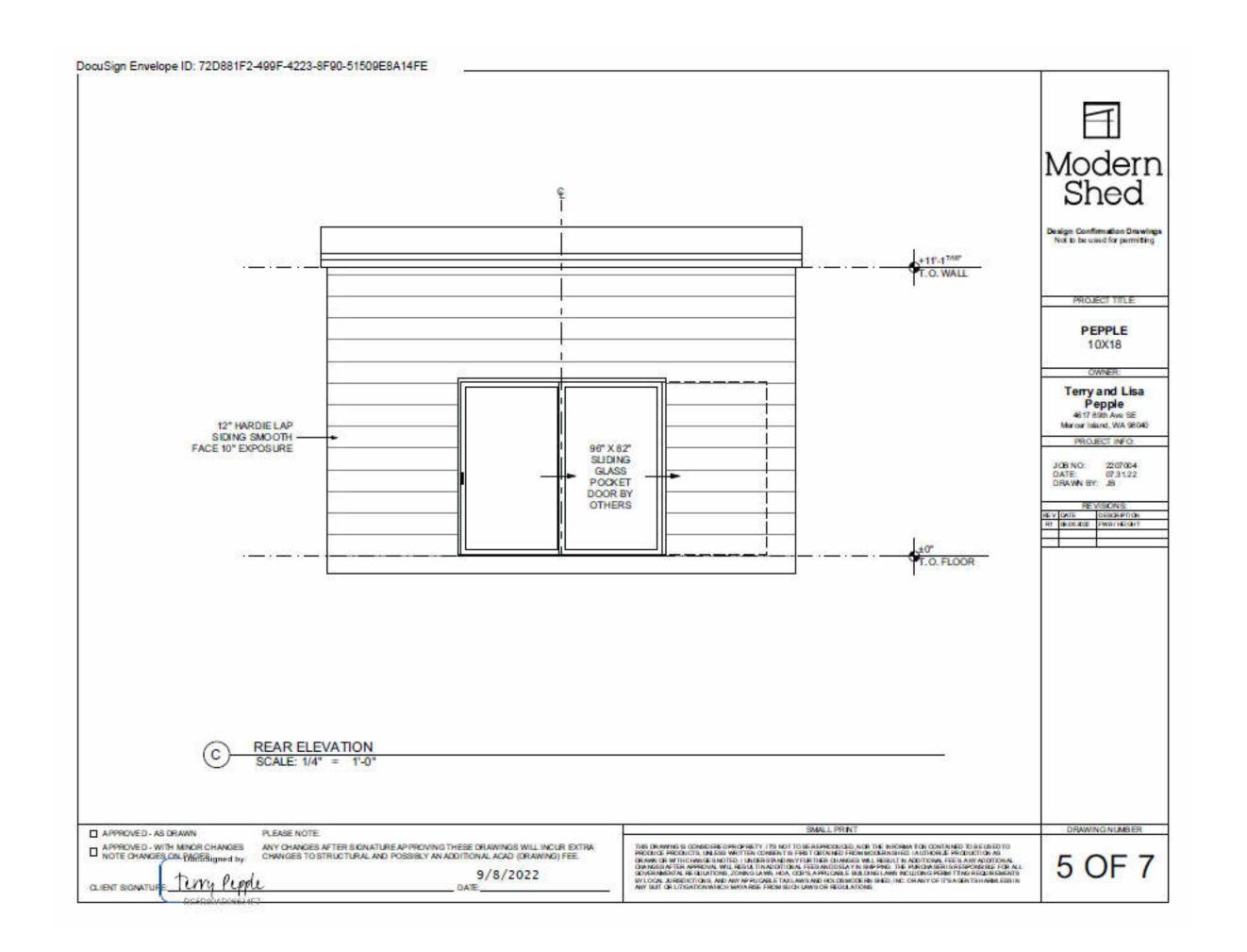
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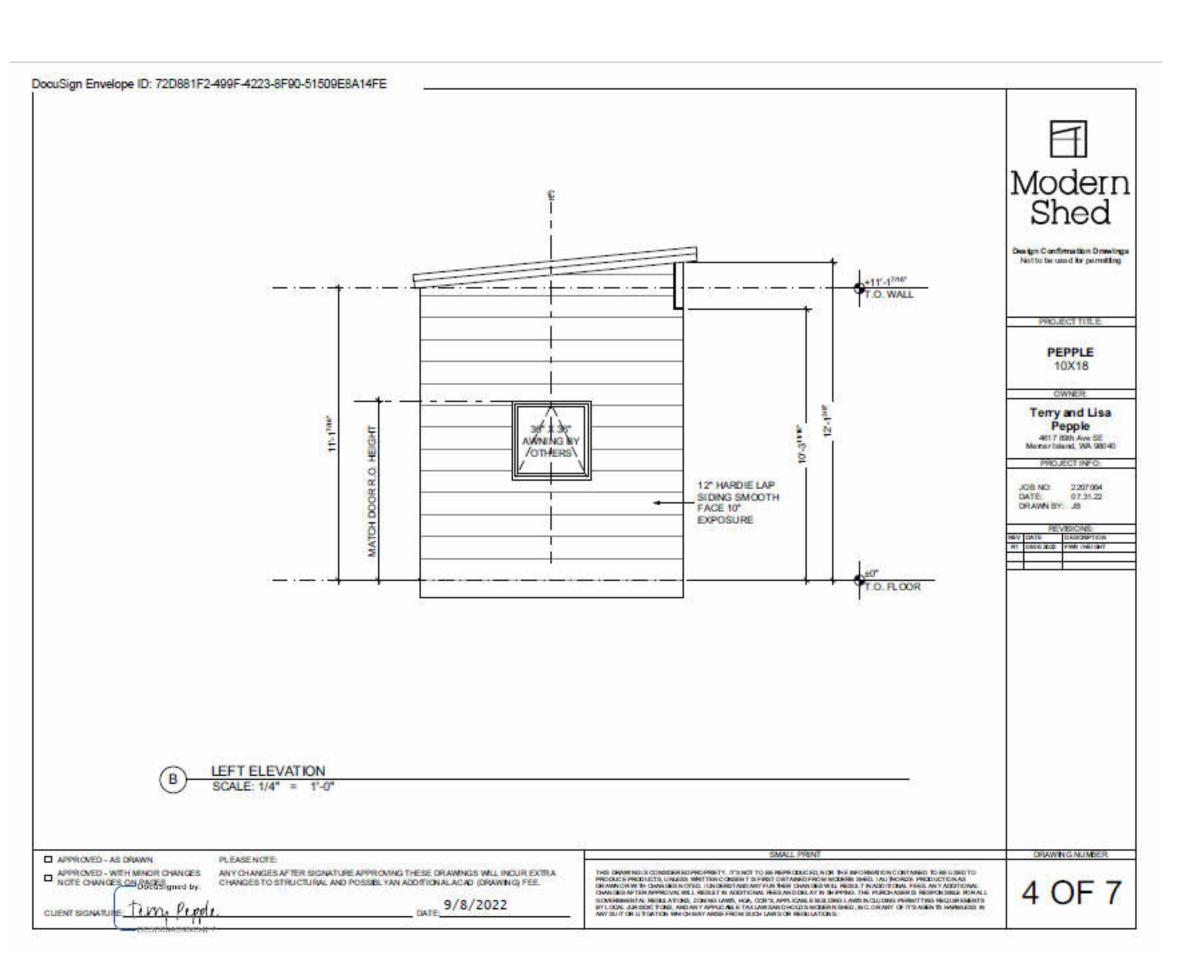
A5.0

NOTE: ARCHITECTURAL DIMENSIONS PER A4.0











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T. 206 354 1567
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RESIDENCE

РР

ACCESSORY STRU

89TH AVE SE CER ISLAND, WA

PROJECT NUMBER

REGISTERED
ARCHITECT
SUZANNE ZAHR
TE OF WASHINGTON

ISSUED / REVISIONS DATE

ISSUE DATE: 05.14.24

DRAWN BY: SA

CHECKED BY: SZ

MANUFACTURER DRAWINGS #2

SHEET NUMBER

A5.1